



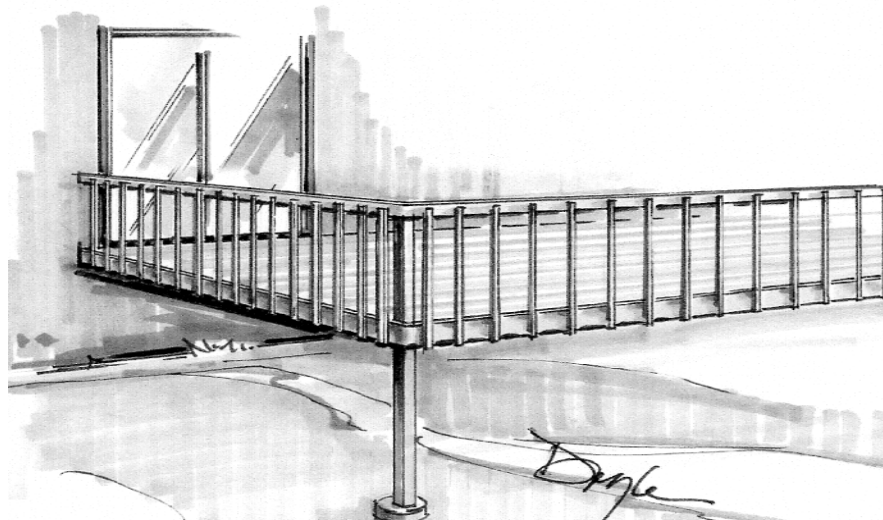
Building Guide

City of Underwood, Iowa
Building and Safety Department

Single Family Residential Uncovered Decks and Porches

HOW TO USE THIS GUIDE

- 1) Complete this Building Guide by filling in the blanks on page two (2), and indicating which construction details will be used.**
- 2) Provide 2 Plot Plans (site plan) showing dimensions of your project or addition and its relationship to existing buildings or structures on the property and the distance to existing property lines drawn to scale. Minimum 11"x17" paper size.**
- 3) Fill out a building permit application. The majority of permit applications are processed with little delay. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.**

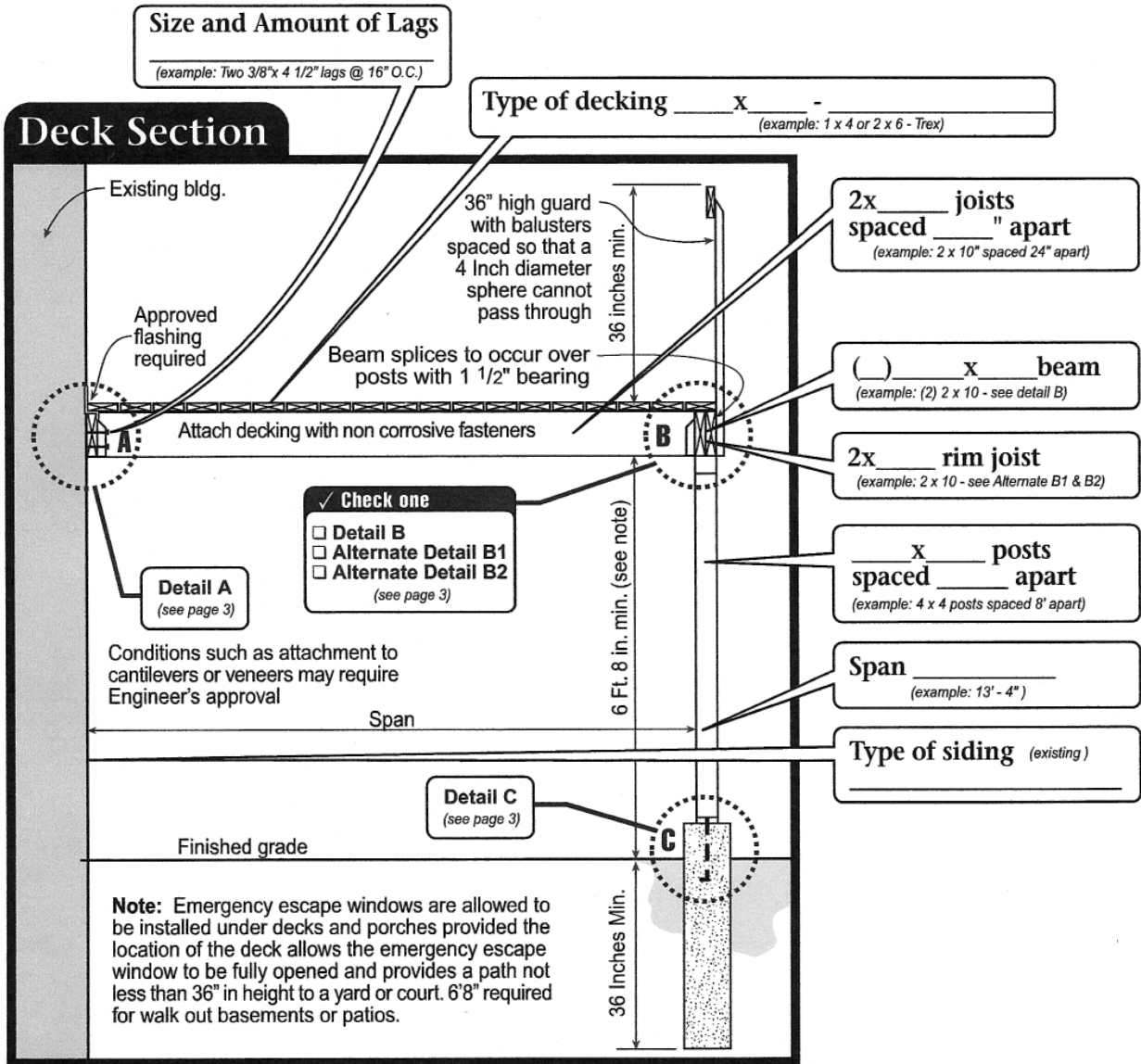


This handout was developed for the City of Underwood, Iowa by the Building and Safety Department, as a basic Plan Submittal under the 2009 IRC. To help in questions that may arise in the application process. It is not intended to cover all circumstances or Code related issues as they pertain to individual projects.

Single Family Residential Uncovered Decks and Porches

Directions – PLEASE PRINT LEGIBLY

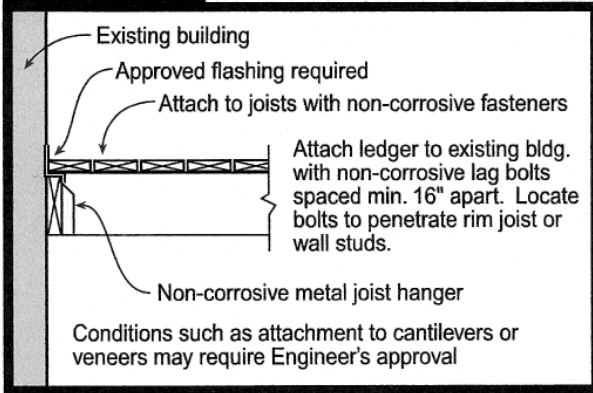
- 1) Fill in the blanks on pages 2 and 3 with dimensions and materials which will be used to build the structure.
- 2) Indicate in the box which detail from page 3 will be used.



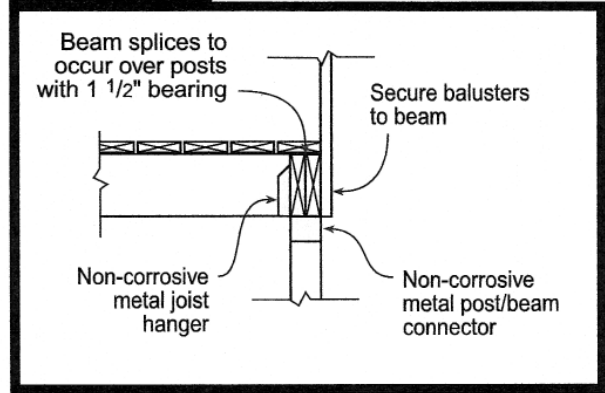
NOTE: A plot plan (plan view) showing the dimensions of your project or additions and its relationship to existing buildings or structures on the property must be included. In addition to project dimensions, your plot plan must also show other details such as post locations and spacing, joist and beam spans, and any other pertinent information not shown on this section drawing.

Single Family Residential Uncovered Decks and Porches

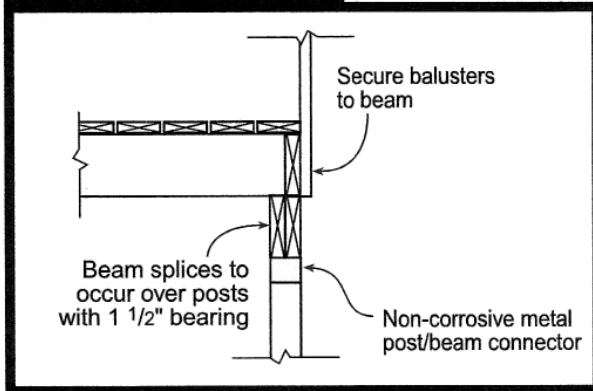
Detail A



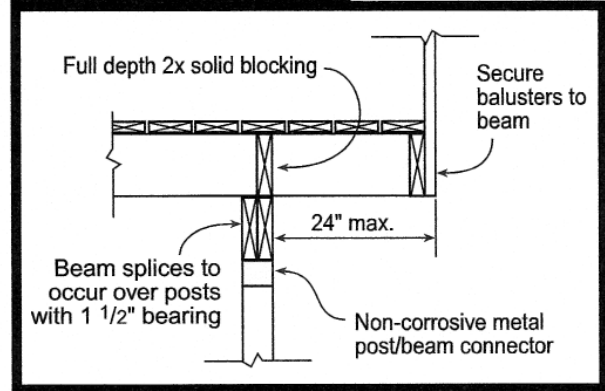
Detail B



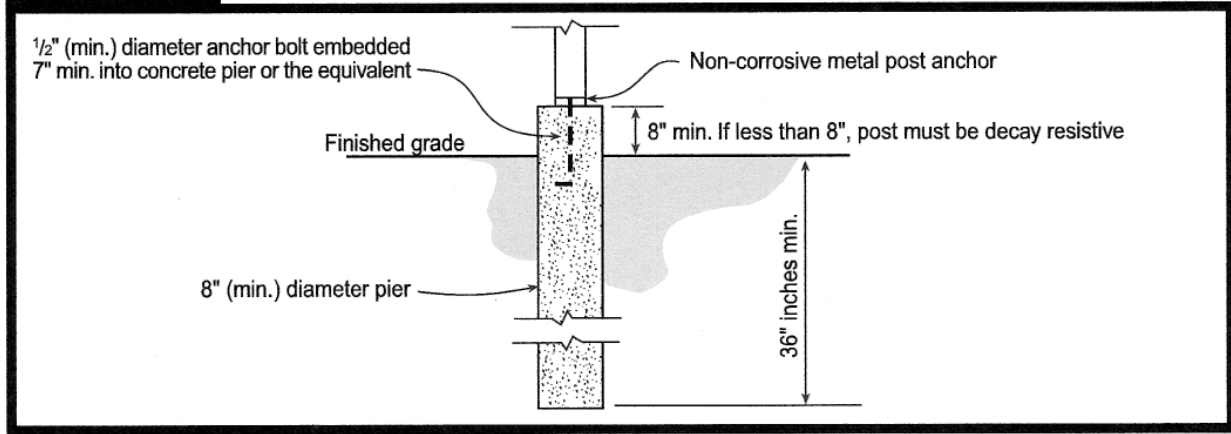
Alternate Detail B1



Alternate Detail B2

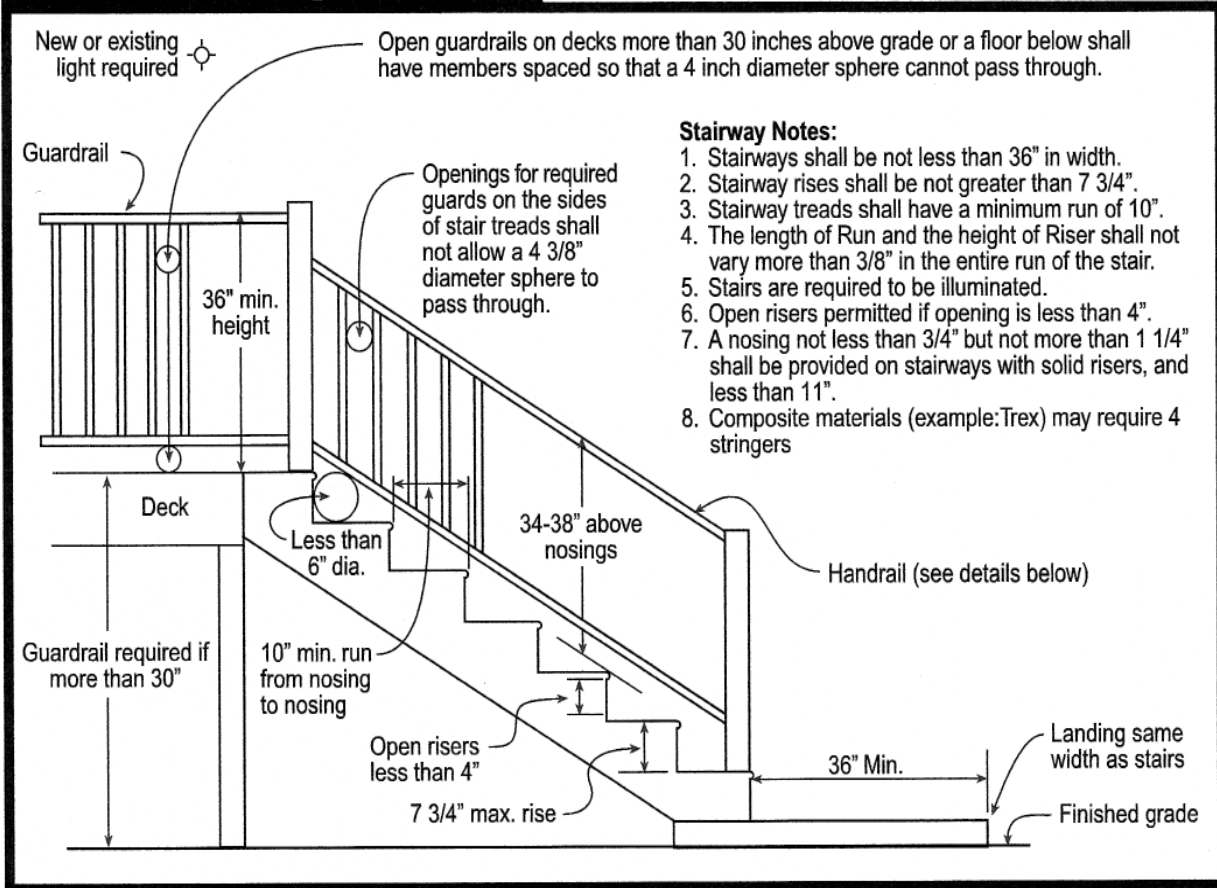


Detail C



Single Family Residential Uncovered Decks and Porches

Stair & Handrail Specifications



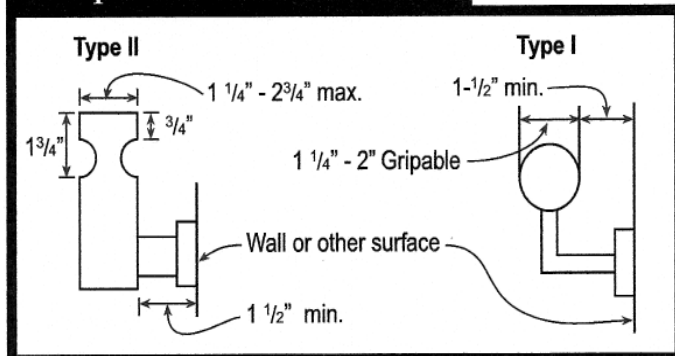
Stairway Notes:

1. Stairways shall be not less than 36" in width.
2. Stairway rises shall be not greater than 7 3/4".
3. Stairway treads shall have a minimum run of 10".
4. The length of Run and the height of Riser shall not vary more than 3/8" in the entire run of the stair.
5. Stairs are required to be illuminated.
6. Open risers permitted if opening is less than 4".
7. A nosing not less than 3/4" but not more than 1 1/4" shall be provided on stairways with solid risers, and less than 11".
8. Composite materials (example:Trex) may require 4 stringers

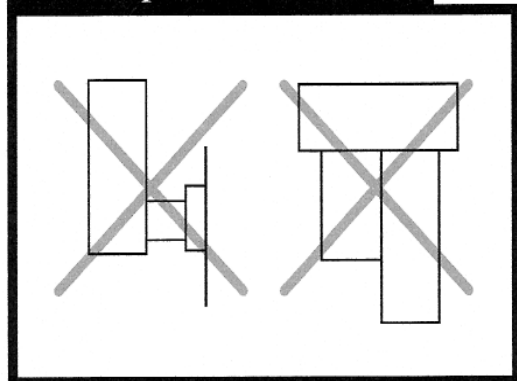
Handrail Notes:

1. Handrails shall be continuous on at least one side of stairs with 4 or more risers.
2. Top of the handrails shall be placed not less than 34 inches nor more than 38 inches above stair nosings.
3. The handgrip portion of handrails shall be not less than 1-1/4 inches nor more than 2 1/4 inches in cross section for non circular handrails.
4. Handrails shall be placed not less than 1-1/2 inches from any wall or other surface.
5. Handrails to be returned to wall, post or safety terminal (per 311.5.6.2 IRC)

Acceptable Handrail Details



Unacceptable Handrails





BUILDING & SAFETY DEPARTMENT
 INSPECTION LINE 712-256-6493
 City Hall 712-566-2373
 Fax 712-566-2083

**ACCESSORY STRUCTURE
 PERMIT VALUATION WORKSHEET**

Accessory Structure Valuation Schedule
 (Standard Construction Valuation Multipliers)

BUILDING VALUATION OF	PER SQUARE FEET
Deck – Elevated Wood Deck not covered (<30" above grade)	\$ 8.25 per Sq. Ft.

Type of Building Area	Square Footage	Multiplier	Valuation
_____	_____	X _____	\$ _____
_____	_____	X _____	\$ _____

Permit Valuation \$ _____

After calculating the square footage with the valuation multiplier above and determining your total permitted valuation. Use the Building Permit Fee Schedule below to determine your Building Permit along with figuring the Plan Review at 25% of the calculated Building Permit cost. The Plan Review will be a required deposit at the time of your application submittal. The Building Permit fees will be verified during plan review and collected at the time of permit issuance.

Building Permit \$ _____
Plan Review \$ _____
Total Permit Fee \$ _____

BUILDING PERMIT FEE SCHEDULE
 (Title 1.50.105)

TOTAL VALUATION	FEE
\$1 to \$500	\$ 23.50
\$501 to \$2,000	\$ 23.50 for the first \$ 500.00 plus \$ 3.05 for each additional \$ 100.00, or fraction thereof, to and including \$ 2,000.00
\$2,001 to \$25,000	\$ 69.25 for the first \$ 2,000.00 plus \$ 14.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 25,000.00
\$25,001 to \$50,000	\$ 391.75 for the first \$ 25,000.00 plus \$ 10.10 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 50,000.00
\$50,001 to \$100,000	\$ 643.75 for the first \$ 50,000.00 plus \$ 7.00 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 100,000.00
\$100,001 to \$500,000	\$ 993.75 for the first \$ 100,000.00 plus \$ 5.60 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 500,000.00
\$500,001 to \$1,000,000	\$ 3,233.75 for the first \$ 500,000.00 plus \$ 4.75 for each additional \$ 1,000.00, or fraction thereof, to and including \$ 1,000,000.00
\$1,000,001 and up	\$ 5,608.75 for the first \$ 1,000,000.00 plus \$ 3.15 for each additional \$ 1,000.00, or fraction thereof...

EXAMPLE

Type of Building Area	Square Footage	Multiplier	Valuation
Deck (10' x 25')	250	X \$ 8.25	\$ 2,062.50
Permit Valuation			\$ 2,062.50

Proposed Total Valuation of \$2,062.50

For the first \$2,000 = \$69.25, plus \$14.00 for each additional \$1,000 or fraction thereof...

$(\$2,062.50 - \$2,000 = \$62.50) (\$62.50 \div \$1,000 = .0625) (.0625 \times \$14.00) = \$0.875 + \$69.25 = \$70.125$ (Round to the nearest .25)

1,000

Building Permit Fee \$ 70.00
 Plan Review Fee \$ 17.50 [25% (\$70.00 x .25)]
Total Permit Fee \$ 87.50



City of Underwood, Iowa

BUILDING & SAFETY DEPARTMENT
 INSPECTION LINE 712-256-6493
 City Hall 712-566-2373
 Fax 712-566-2083
 P.O. Box 40
 218 Second Street
 Underwood, IA 51576

ACCESSORY STRUCTURE BUILDING PERMIT APPLICATION

Receipt Number	Total Permit Amount	Permit Number
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JOB SITE ADDRESS	PARCEL NUMBER
PROPERTY OWNER	PHONE NUMBER
PROPERTY OWNERS ADDRESS	
CONTRACTOR	PHONE NUMBER
CONTRACTOR MAILING ADDRESS	

CONSTRUCTION INFORMATION

PROPOSED CONSTRUCTION DESCRIPTION	
ESTIMATED CONSTRUCTION VALUATION \$	PROPOSED BUILDING AREA (SQUARE FOOTAGE)

FLOOD PLAIN DATA	Rate Map # 19155C0-	Flood Zone <input type="checkbox"/> .2% <input type="checkbox"/> AH <input type="checkbox"/> A <input type="checkbox"/> AO <input type="checkbox"/> AE <input type="checkbox"/> X	Floodplain? <input type="checkbox"/> Yes <input type="checkbox"/> No	Floodway? <input type="checkbox"/> Yes <input type="checkbox"/> No
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PERMIT FEES	AMOUNT
After calculating the square footage with the valuation multiplier and determining your total permitted valuation. Use the Building Permit Fee Schedule and determine your Building Permit Fee. This permit fee will be verified during plan review and collected at the time of permit issuance. (See previous page)	Building Permit Fee \$
Figuring the Plan Review Fee at 25% of the calculated Building Permit Fee cost. The Plan Review Fee will be a required deposit at the time of your permit application submittal. (See previous page)	Plan Review Fee (submittal deposit) \$
	Total Amount \$

I will save, indemnify, and keep harmless the City of Underwood, Iowa its officers, employees, and agents against all liabilities, judgments cost, and expenses which may accrue against them in consequence of the granting of this permit, inspections, or use of any on -site or off -site improvements placed by virtue hereof, and will in all things strictly comply with all applicable rules, ordinance, and laws. Signature constitutes an attestation by the applicant that application complies with all covenants, conditions, and restrictions.

APPLICANTS SIGNATURE _____ DATE _____

Issued By _____ Date _____